

Access Report (DA)

Residential Development
5 Rynan Avenue
Edmondson Park NSW

Client: KMT Pty Ltd

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1. INTRODUCTION

Ergon Consulting has been engaged by KMT Pty Ltd to undertake an assessment and provide professional opinion in regards to access for people with disabilities to and throughout the residential development at 5 Ryman Avenue Edmondson Park NSW.

This report has been prepared to accompany the development application and has relied on the following design documentation prepared by Joshua Farkash & Associates Pty Ltd.

Document Number	Rev	Title	Date
A-2101	F	Basement Floor Plan	26.09.14
A-2102	F	Ground Floor Plan	26.09.14
A-2103	F	Level 1 Floor Plan	26.09.14
A-2104	F	Level 2 Floor Plan	26.09.14
A-2105	F	Level 3 Floor Plan	26.09.14
A-2106	F	Level 4 Floor Plan	26.09.14
A-6102	F	Adaptable Housing Buildings A & B	26.09.14

The design documentation is attached to this report in **Appendix 1**.

a. Purpose of report

The purpose of this Access Report is to identify the extent to which the design documentation complies with the:

- Building Code of Australia (BCA) 2014, part D3 (Access for people with a disability), clause E3.6 (Lift Installations) and clause F2.4 (Accessible Sanitary Facilities);
- AS1428.1-2009 (Part 1 – General requirements for access - New building work);
- AS2890.6-2009 (Part 6 – Off-Street parking for people with disabilities); and
- AS4299-1995 (Adaptable Housing).

The comments within this report do not cover detailed issues pertaining to construction documentation such as internal finishes, evaluation of slip resistant floor materials, lift specification, door schedule, tactile ground surface indicators, lighting levels, signage and the like, which will be confirmed at construction certificate stage.

b. Report Exclusions

This report should not be misinterpreted that it provides an assessment for compliance with the following:

- Occupational Health & Safety Act and Regulations;
- Work, Health and Safety requirements;
- Requirements of any standards that are not identified within this report;
- Any parts of the BCA not directly referenced within this report; and
- Disability Discrimination Act (DDA) 1992.

It is also conveyed that this report does not form part of the design documentation prepared for this project.

2. DEVELOPMENT DETAILS

a. Project Description

The residential development proposed within portion C of the site will include the following:

- Three buildings (Building A, B & C) comprising of residential units;
- Two basement car parks;
- New internal road;
- Building A comprising of –
 - 5 levels with 50 residential units of which 5 are adaptable units;
 - Ground floor communal open spaces;
 - 11 at grade visitor car parking spaces of which 2 are accessible car parking spaces; and
 - Garbage areas on the ground floor.
- Building A basement car park comprising of –
 - 75 residential car parking spaces of which 5 are accessible car parking spaces; and
 - Storage areas.
- Building B comprising of –
 - 5 levels with 23 residential units of which 4 are adaptable units; and
 - Shared communal open space with Building C.
- Building C comprising of –
 - 2 levels with 9 residential units of which none are adaptable units;
 - Shared communal open space with Building B; and
 - Storage areas on the ground floor.
- Building B & C basement car park comprising of –
 - 9 visitor car parking spaces of which 1 is an accessible car parking space;
 - 48 residential car parking space of which 5 are accessible car parking spaces;
 - Garbage areas; and
 - Storage areas.

b. Building Details

The subject site that is referred to within this report can be described as follows:

Property Address: 5 Ryman Avenue Edmondson Park NSW 2174

Legal Description: Lot 1 DP774700

Total Site Area: 2.023 Ha approx.

Proposed Building Classification:

Building A

Basement Floor – Class 7a (Car Parking)

Ground Floor – Class 2 (Residential Sole Occupancy Units)

Level 1 – Class 2 (Residential Sole Occupancy Units)

Level 2 – Class 2 (Residential Sole Occupancy Units)

Level 3 – Class 2 (Residential Sole Occupancy Units)

Level 4 – Class 2 (Residential Sole Occupancy Units)

Level 5 – Class 2 (Residential Sole Occupancy Units)

Building B

Basement Floor – Class 7a (Car Parking)

Ground Floor – Class 2 (Residential Sole Occupancy Units)

Level 1 – Class 2 (Residential Sole Occupancy Units)

Level 2 – Class 2 (Residential Sole Occupancy Units)

Level 3 – Class 2 (Residential Sole Occupancy Units)

Level 4 – Class 2 (Residential Sole Occupancy Units)

Level 5 – Class 2 (Residential Sole Occupancy Units)

Building C

Basement Floor – Class 7a (Car Parking)

Ground Floor – Class 2 (Residential Sole Occupancy Units)

Level 1 – Class 2 (Residential Sole Occupancy Units)

Note: Garbage and storage areas constitute less than 10% of the total floor area (Determined in accordance with A3.2 of the BCA).

3. BCA ASSESSMENT

a. General

The table below assesses the compliance status of the design documentation in terms of the prescriptive accessibility provisions found within the Building Code of Australia 2014 (BCA).

To parts that do not comply or design detail is not provided, a comment or recommendation is provided to achieve compliance.

The compliance assessment outcomes are classified into the following categories:

Key	
Noted	The subject clause is for guidance or for information only.
Capable of complying at CC stage	The design has shown general compliance with the subject clause. Further details are required during the construction certificate stage to achieve full compliance.
Design information required at CC stage	The design does not show sufficient details to achieve compliance with the subject clause. Further details are required during the construction certificate stage to achieve full compliance.
Does not comply	The design has not achieved compliance with the subject clause.
Not applicable	The subject clause is not applicable to the proposed design.

b. Part D3 – Access for people with disabilities

BCA Clause		Status	Comment/Recommendation
D3.0	<p>Deemed-to-satisfy provisions</p> <p>A building solution is proposed to comply with the D-t-S provisions found within the BCA.</p> <p>Any building solution that is proposed as an Alternative Solution to the D-t-S provisions must satisfy the performance requirements found within the BCA.</p>	Noted	<p>The new building work will generally follow a D-t-S path for achieving compliance.</p> <p>Where D-t-S compliance is not achievable an alternative solution will be provided.</p>
D3.1	<p>General building access requirements</p> <p>Access requirements with reference to Table D3.1.</p> <p>Class 2</p> <p><i>Access must be provided by a ramp or lift:</i></p> <ul style="list-style-type: none"> <i>From a pedestrian entrance required to be accessible to at least 1 floor containing sole-occupancy units and to the entrance doorway of each sole occupancy unit on that level.</i> <i>To and within not less than 1 of each type</i> 	Capable of complying at CC stage	<p>Adaptable Housing</p> <p>Liverpool City Council's Development Control Plan Part 2.11 (Land Subdivision and Development in Edmondson Park) states ten (10) percent of dwellings must be designed to be capable of adaptation for a person with a disability or the elderly.</p>

BCA Clause		Status	Comment/Recommendation
	<p><i>of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, swimming pool, common laundry, games room, individual shop, eating area, or the like.</i></p> <ul style="list-style-type: none"> <i>Where a ramp complying with AS1428.1 or a passenger lift is installed – to the entrance doorway of each sole occupancy unit; and to and within rooms or spaces for use in common by the residents, located on the levels served by the lift.</i> <p>Class 7a</p> <p><i>To and within any level containing accessible car parking spaces.</i></p>		<p>Adaptable dwellings must be designed in accordance with AS4299-1995.</p> <p>The adaptable dwellings must achieve a 'Class C' level classification.</p> <p>A total of nine (9) adaptable dwellings will be provided within this development.</p> <p>Five (5) adaptable dwellings will be provided within Building A and four (4) adaptable dwellings will be provided in Building B.</p> <p>Refer to Section 5 of this report for schedule of adaptable features required within adaptable dwellings.</p> <p>Class 2</p> <p>Access is required to the entrance doorway of each sole-occupancy unit (SOU) and to any common areas within this development accessed via a compliant ramp or lift.</p> <p>Access is readily achievable to all sole-occupancy units and common areas within this development accessed via the proposed lifts.</p> <p>It is mandatory that the entrance door of each Class 2 sole occupancy unit within this development must have a 850mm wide clear door opening complying with AS1428.1-2009.</p> <p>It is preferred that door circulation space complying with AS1428.1-2009 is provided to the external side of each Class 2 sole occupancy unit within this development.</p> <p>Class 7a</p> <p>Access is required to and within a basement car parking level containing accessible car parking.</p>

BCA Clause		Status	Comment/Recommendation
			Access is generally provided to and within the basement car parking areas provided within this development.
D3.2	<p>Access to buildings</p> <p>An accessway must be provided to a building required to be accessible:</p> <ul style="list-style-type: none"> (i). From the main points of a pedestrian entry at the allotment boundary; and (ii). From another accessible building connected by a pedestrian link; and (iii). From any required accessible car parking on the allotment. <p>In a building required to be accessible, an accessway must be provided through the principal pedestrian entrance and:</p> <ul style="list-style-type: none"> (i). Through not less than 50% of all other pedestrian entrances, including the principal pedestrian entrance; and (ii). In a building with a total floor area more than 500m², a pedestrian entrance which is not accessible must not be located more than 50m from an accessible pedestrian entrance. <p>Where a pedestrian entrance required to be accessible has multiple doorways:</p> <ul style="list-style-type: none"> (i). If the pedestrian entrance consists of not more than 3 doorways – not less than 1 of those doorways must be accessible; and (ii). If an accessible entrance consists of more than 3 doorways – not less than 50% of those doorways must be accessible. <p>An accessible pedestrian entrance with multiple doorways is considered to be one pedestrian entrance where:</p> <ul style="list-style-type: none"> (i). All doorways serve the same part or parts of the building; and (ii). The distance between each doorway is not more than the width of the widest doorway at that pedestrian entrance. <p>Where a doorway on an accessway has multiple leaves (except an automated opening door) one of the leaves must have a clear</p>	Capable of complying at CC stage	<p>Accessways</p> <p>Accessways are required from the main entry point at the allotment boundary, from any other accessible building and any accessible car parking space to the main entrance door of each building.</p> <p>Accessways from the allotment boundary, adjoining accessible buildings, basement and external car parking areas are generally proposed to the main entry point to each building as required.</p> <p>Access to Buildings</p> <p>Each building has provision for direct street pedestrian access from the new internal road and car parking areas provided within this development.</p> <p>The main entrance door to each building must have a minimum 850mm clear wide opening and door circulation space (internal and external) complying with AS1428.1-2009.</p> <p>In addition to the main entrance door to each building, 50% of all other entrance doors must be accessible or if located more than 50 metres away from the main entrance door, must be an accessible doorway.</p> <p>Where an entrance door has multiple doorways, at minimum one of the doorways must be accessible with a 850mm clear wide opening complying with AS1428.1-</p>

BCA Clause		Status	Comment/Recommendation
	opening width of not less than 850mm in accordance with AS1428.1.		2009. The CC documents will provide details showing clear opening of doorways, level thresholds, ramp grades, door hardware and door circulation space requirements in accordance with AS1428.1-2009.
D3.3	<p>Parts of buildings to be accessible</p> <p>In a building required to be accessible:</p> <p>(i). Every ramp and stairway, except for ramps and stairways in areas exempted by D3.4, must comply with:</p> <ul style="list-style-type: none"> - For a ramp, except a fire isolated ramp, clause 10 of AS1428.1; and - For a stairway, except a fire isolated stairway, clause 11 of AS1428.1; and - For a fire isolated stairway, clause 11 (f) and (g) of AS1428.1. <p>(ii). Every passenger lift must comply with E3.6.</p> <p>(iii). Accessways must have:</p> <ul style="list-style-type: none"> - Passing spaces complying with AS1428.1 at maximum 20m intervals on those parts of an accessway where a direct line of site is not available; and - Turning spaces complying with AS1428.1 within 2m of the end of accessways where it is not possible to continue travelling along the accessway and at maximum 20m intervals along the accessway. <p>(iv). An intersection of accessways satisfies the spatial requirements for a passing and turning space.</p> <p>(v). A passing space may serve as a turning space.</p> <p>(vi). A ramp complying with AS1428.1 or a passenger lift need not be provided to a serve a storey or level other than a entrance storey for a Class 5, 6, 7b and 8 building:</p>	Capable of complying at CC stage	<p>All accessways, ramps and stairs except for fire isolated ramps and stairs must comply with AS1428.1-2009.</p> <p>Accessways</p> <p>Accessways to and within each building must have:</p> <ul style="list-style-type: none"> • A turning space of 1540mm x 2070mm to perform a 180 degree turn within 2 metres of a terminated accessway; • A 1500mm diameter clear turning space is required to perform a 90 degree turn within a corridor; • A 1800mm wide passing space must be provided at 20m intervals or where a direct line of site is not available; and • Accessways must have a minimum 1000mm clear width, except where a turning or passing space is required. <p>Accessways are generally provided with appropriate turning and passing spaces.</p> <p>Storage and Garbage Rooms</p> <p>The corridors of a storage room or garbage room must include provision for a 1540mm x 2070mm clear circulation space allowing a wheelchair user to perform a 180-degree turn.</p>

BCA Clause		Status	Comment/Recommendation
	<ul style="list-style-type: none"> - Containing not more than 3 storeys; and - With a floor area for each storey, excluding the entrance storey, of not more than 200m². <p>(vii). Clause 7.4.1(a) of AS1428.1 does not apply and is replaced with 'pile height or pile thickness shall not exceed 11mm and the carpet backing thickness shall not exceed 4mm'.</p> <p>(viii). The carpet pile height or pile thickness dimension, carpet backing thickness dimension and their combined dimension shown in Figure 8 of AS1428.1 do not apply and are replaced with 11mm, 4mm and 15mm respectively.</p>		<p>1 in 14 Ramps</p> <p>1 in 14 graded ramps must have a minimum 1000mm clear width, landings every 9 metres, continuous handrails (with kerb rails) on both sides of the ramp with appropriate handrail extensions and terminations.</p> <p>The 1 in 14 ramp must have top and bottom landings with tactile ground surface indicators (not required at intermediate landings).</p> <p>1 in 10 Step Ramp</p> <p>1 in 10 graded step ramps must have a 1000mm minimum clear width, maximum length of 1900mm, maximum height of 190mm, and top and bottom landings.</p> <p>A suitable barrier including either a wall, 450mm high wall or a balustrade with a kerb rail, must protect the edges of a step ramp.</p> <p>Stairways</p> <p>All stairs, except for fire-isolated stairs must have handrails on both sides with appropriate handrail extensions and terminations, non-slip nosings with a luminance contrast and tactile ground surface indicators at top and bottom landings (not required at intermediate landings).</p> <p>Fire-Isolated Stairs</p> <p>All fire-isolated stairs must have non-slip nosings with a luminance contrast.</p> <p>Lift</p> <p>The CC documents will provide lift details showing compliance with clause E3.6 of the BCA, AS1735.12 and AS1735.7-1998.</p>

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			<p>Soft Floor Coverings</p> <p>Any carpet within this development must comply with the BCA.</p> <p>The carpet pile height or thickness shall not exceed 11mm and the carpet backing thickness shall not exceed 4mm.</p> <p>Slip Resistant Surfaces</p> <p>Accessways, ramps and stairs must have a slip resistance surface complying with the BCA 2014.</p>
D3.4	<p>Exemptions</p> <p>The following areas are not required to be accessible:</p> <ul style="list-style-type: none"> (i). An area where access would be inappropriate because of the particular purpose for which the area is used; and (ii). Any area that would pose a health and safety risk for people with a disability; and (iii). Any path of travel providing access only to an area exempted by (i) and (ii). 	Noted	<p>D3.4 exemptions are determined on a case-by-case basis.</p> <p>The following areas may be exempt from being accessible:</p> <ul style="list-style-type: none"> • Service rooms (e.g. electrical and comms room); and • Plant rooms. <p>Detailed information must be provided at CC stage detailing use of each room, role of personnel to be admitted to each area, security arrangements for independent movement of non-authorised personnel, activities of the people using the area and any OH&S restraints.</p>
D3.5	<p>Accessible car parking</p> <p>Accessible car parking spaces:</p> <ul style="list-style-type: none"> (i). Subject to (ii), must be provided in accordance with Table D3.5 in: <ul style="list-style-type: none"> – A Class 7a building required to be accessible; and – A car parking area on the same allotment as a building required to be accessible. (ii). Need not be provided in a Class 7a 	Capable of complying at CC stage	<p>The accessible car parking provided within this development must comply with AS2890.6-2009.</p> <p>Class 2</p> <p>A total of five (5) residential accessible car parking spaces will be provided within the Building A basement car park.</p>

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	<p>building or car parking area where a parking service is provided and direct access to any of the car parking spaces is not available to the public.</p> <p>(iii). Subject to (iv), must comply with AS2890.6.</p> <p>(iv). Need not be designated where there is a total of not more than 5 car parking spaces, so as to restrict the use of the car parking space only for people with a disability.</p> <p>Class 2</p> <p><i>The BCA has not requirement for accessible car parking within a Class 2 building.</i></p> <p><i>One accessible car parking space per accessible unit will be provided in accordance with AS4299-1995 or as per Liverpool City Council's Development Control Plan.</i></p> <p>Class 7a</p> <p><i>1 space for every 100 car parking spaces.</i></p>		<p>A total of five (5) residential accessible car parking spaces will be provided within the Building B & C basement car park.</p> <p>The accessible car parking space must be a minimum 2400mm wide x 5400mm long and must have provision for a 2400mm x 5400mm shared zone.</p> <p>Where accessible car parking widths are not achievable, an alternative solution will be required at CC stage by a suitably qualified Access Consultant.</p> <p>Class 7a</p> <p>A total of two (2) at grade accessible visitor car parking spaces will be provided for Building A and one (1) accessible visitor car parking space will be provided within the basement car park for Building B & C.</p> <p>The accessible visitor car parking space must be a minimum 2400mm wide x 5400mm long and must have provision for a 2400mm x 5400mm shared zone.</p> <p>The accessible car parking space must have a minimum 2500mm overhead clearance (pipes, beams and cable trays should not intrude into this overhead clearance).</p> <p>The entrance door and the vehicle path of travel must have a minimum 2200mm overhead clearance.</p> <p>Appropriate identification (international symbol of access) and line marking must be provided to the accessible car parking spaces and shared zones.</p> <p>The shared zone must have a bollard to prevent unauthorised parking by residents or</p>

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			<p>visitors.</p> <p>The cross-fall within the basement car park and the external car park must not exceed 1 in 40 in any direction (for drainage purposes).</p>
D3.6	<p>Signage</p> <p>In a building required to be accessible – braille and tactile signage complying with Specification D3.6 must:</p> <ul style="list-style-type: none"> (i). Incorporate the international symbol of access or deafness, as appropriate, in accordance with AS1428.1 and identify each: <ul style="list-style-type: none"> - Sanitary facility, except a sanitary facility within a sole occupancy unit in a Class 1b or Class 3 building; and - Space with a hearing augmentation system. (ii). Identify each door required by E4.5 to be provided with an exit sign and state: <ul style="list-style-type: none"> - “Exit”; and - “Level” followed by the floor level number. (iii). Signage including the international symbol for deafness in accordance with AS1428.1 must be provided within a room containing a hearing augmentation system identifying: <ul style="list-style-type: none"> - The type of system; and - The area covered within the room; and - If receivers are being used and where the receivers can be obtained. (iv). Signage in accordance with AS1428.1 must be provided for accessible unisex sanitary facilities to identify if the facility is suitable for left or right handed use. (v). Signage to identify an ambulant accessible sanitary facility in accordance with AS1428.1 must be located on the door of the facility. (vi). Where a pedestrian entrance is not accessible, directional signage 	<p>Capable of complying at CC stage</p>	<p>All signs relating to access must comply with Specification D3.6 and AS1428.1-2009.</p> <p>Signs must be positioned latch side 1200mm-1600mm from the floor surface.</p> <p>Signage must be easy to read (large print if possible), non reflective and include legible braille and tactile.</p> <p>Fire Egress</p> <p>Signage must be provided to all emergency evacuation doors stating “Exit” and “Level” followed by the floor number.</p> <p>Directional signage must be provided directing a person with a disability to the emergency exit on each floor.</p> <p>Non-Accessible Entrance</p> <p>Where a non-accessible entrance is provided, a sign must be provided within the international symbol of access and an arrow directing a person with a disability to the nearest accessible entrance.</p> <p>Signage details to be provided during CC stage for review.</p>

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	<p>incorporating the international symbol of access, in accordance with AS1428.1 must be provided to direct a person to the location of the nearest accessible pedestrian entrance.</p> <p>(vii). Where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility, direction signage incorporating the international symbol of access in accordance with AS1428.1 must be placed at the location of the sanitary facilities that are not accessible, to direct a person to the location of the nearest accessible unisex sanitary facility.</p>		
D3.7	<p>Hearing Augmentation</p> <p>A hearing augmentation system must be provided where an inbuilt amplification system, other than the one used for emergency warning is installed:</p> <ul style="list-style-type: none"> (i). In a room within a Class 9b building; and (ii). In an auditorium, conference room, meeting room, or room for judicatory purposes; and (iii). At any ticket office, tellers booth, reception area, or the like, where the public is screened from the service provider. <p>If a hearing augmentation system is required:</p> <ul style="list-style-type: none"> (i). An induction loop, it must be provided to no less than 80% of the floor area of the room or space served by the inbuilt amplification system; and (ii). A system requiring the use of receivers or the like, it must be available to not less than 95% of the floor area of the room or space served by the inbuilt amplification system, and the number of receivers provided must not be less than: <ul style="list-style-type: none"> - If the room or space accommodates up to 500 persons, 1 receiver per 25 persons or part thereof, or 2 receivers, whichever is greater; and - If the room or space accommodates more than 500 	Not Applicable	A hearing augmentation system is not required within this development.

BCA Clause		Status	Comment/Recommendation
	<p>patrons but not more than 1000, 20 receivers plus 1 receiver for every 33 person or part thereof in excess of 500 persons; and</p> <ul style="list-style-type: none"> - If the room or space accommodates more than 1000 persons but not more than 2000 persons, 35 receivers plus 1 receiver for every 50 persons or part thereof in excess of 1000 persons; and - If the room or space accommodates more than 2000 persons, 55 receivers plus 1 receiver for every 100 persons or part thereof in excess of 2000 persons. <p>The number of persons accommodated in the room or space served by an inbuilt amplification system must be calculated in accordance with D1.13.</p> <p>Any screen or scoreboard associated with a Class 9b building and capable of displaying public announcements must be capable of supplementing any public address system, other than a public address system used for emergency warning purposes only.</p>		
D3.8	<p>Tactile Indicators</p> <p>For a building required to be accessible, tactile ground surface indicators must be provided to warn people who are blind or have a vision impairment that they are approaching:</p> <ul style="list-style-type: none"> (i). A stairway, other than a fire-isolated stairway; and (ii). An escalator; and (iii). A passenger conveyor or moving walk; and (iv). A ramp, other than a fire-isolated ramp; and (v). In the absence of a suitable barrier: <ul style="list-style-type: none"> - An overhead obstruction less than 2m above floor level, other than a doorway; and - An accessway meeting a vehicle accessway adjacent to a 	Capable of complying at CC stage	<p>Tactile Ground Surface Indicators (Warning Type)</p> <p>Tactile ground surface indicators must comply with Sections 1 and 2 of AS/NZS1428.4.1-2009.</p> <p>Tactile ground surface indicators must have a 30% luminance contrast to the surrounding surface.</p> <p>Tactile ground surface indicators must be provided to the top and bottom landings of stairs and ramps (except for fire isolated stairs or ramps).</p> <p>Tactile ground surface indicators must not be provided at intermediate stair</p>

BCA Clause		Status	Comment/Recommendation
	<p>pedestrian entrance to a building, excluding a pedestrian entrance serving an area referred to in D3.4, if there is no kerb or kerb ramp at that point.</p> <p>(vi). Except of areas exempted by D3.4.</p> <p>Tactile ground surface indicators must comply with Section 1 and 2 of AS/NZS 1428.4.1.</p> <p>A hostel for the aged, nursing home for the aged, a residential aged care building Class 3 accommodation for the aged, Class 9a health-care building or a Class 9c aged care building need not comply with (i) and (iv) if handrails incorporating a raised dome button in accordance with the requirements for stairway handrails in AS1428.1 are provided to warn people who are blind or have a vision impairment that they are approaching a stairway or ramp.</p>		or ramp landings.
D3.9	<p>Wheelchair seating spaces in Class 9b assembly building</p> <p>Where fixed seating is provided within a Class 9b assembly building, wheelchair seating spaces complying with AS1428.1 must be provided with the following:</p> <p>(i). The number and grouping of wheelchair seating spaces must be in accordance with Table D3.9;</p> <p>(ii). In a cinema</p> <ul style="list-style-type: none"> - With not more than 300 seats, wheelchair seating spaces must not be located in the front row seats; and - With more than 300 seats – not less than 75% of required wheelchair seating spaces must be located in rows other than the front row of seats; and - The location of wheelchair seating is to be representative of the range of seating provided. 	Not applicable	<p>There are no parts or areas of this development that are classified as Class 9b.</p> <p>Fixed seating is not provided within this development.</p>
D3.10	<p>Swimming pools</p> <p>Not less than 1 means of accessible water entry/exit in accordance with Specification D3.10 must be provided for each swimming pool required by Table D3.1 to be accessible.</p>	Not Applicable	There are no swimming pools within this development.

BCA Clause		Status	Comment/Recommendation
	<p>An accessible entry/exit must be by means of:</p> <ul style="list-style-type: none"> (i). A fixed or moveable ramp and an aquatic chair; or (ii). A zero depth entry at a maximum gradient of 1:14 and an aquatic chair; or (iii). A platform swimming pool lift and an aquatic wheelchair; or (iv). Swing style swimming pools lift. <p>Where a swimming pool has a perimeter of more than 70m in length, at least one accessible water entry/exit must be provided by a means specified in (i), (ii) or (iii).</p> <p>Latching devices on gates and doors forming part of a swimming pool safety barrier need not comply with AS1428.1.</p>		
D3.11	<p>Ramps</p> <p>On an accessway:</p> <ul style="list-style-type: none"> (i). A series of connected ramps must not have a combined vertical rise of more than 3.6m; and (ii). A landing for a step ramp must not overlap a landing for another step ramp or ramp. 	Complies	<p>There are no ramps with a total rise of 3.6m.</p> <p>There are no overlapping step ramp landings.</p>
D3.12	<p>Glazing on an accessway</p> <p>On an accessway, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS1428.1.</p>	Capable of complying at CC stage	<p>All internal and external glazed doors and windows within common areas must have a luminance contrast strip in accordance with AS1428.1-2009.</p> <p>Contrasting strips must have a solid, non-transparent contrasting line (min. 30% luminance) not less than 75mm wide with the lower edge located at a height between 900-1000mm from the ground.</p>

c. Part E3 – Lift Installations

BCA Clause		Status	Comment/Recommendation
E3.6	<p>Passenger lifts</p> <p>In an accessible building, every passenger lift must:</p> <ul style="list-style-type: none"> (i). Be one of the types identified in Table E3.6a, subject to the limitations on use specified in the Table; and (ii). Have accessible features in accordance with Table E3.6b; (iii). Not rely on a constant pressure device for its operation if the lift car is fully enclosed. <p>Electric passenger lift</p> <p><i>The accessible features required for this type of lift include:</i></p> <ul style="list-style-type: none"> (i). <i>Handrails complying with AS1735.12;</i> (ii). <i>Lift floor dimension of not less than 1100mm wide x 1400mm deep if not traveling more than 12m;</i> (iii). <i>Lift floor dimension of not less than 1400mm wide x 1600mm deep if traveling more than 12m;</i> (iv). <i>Minimum clear door opening complying with AS1735.12;</i> (v). <i>Passenger protection system complying with AS1735.12;</i> (vi). <i>Lift landing doors at the upper landings;</i> (vii). <i>Lift car and landing control buttons complying with AS1735.12;</i> (viii). <i>Lighting in accordance with AS1735.12;</i> (ix). <i>Automatic audible information within the lift car to identify the level each time the car stops;</i> (x). <i>Audible and visual indication at each lift landing to indicate the arrival of the lift car;</i> (xi). <i>Audible information and audible indication must be provided in a range of between 20-80 dB (A) at a maximum frequency of 1 500 Hz.</i> (xii). <i>Emergency hands-free communication, including a button that alerts a call centre of a problem and a light to signal that the call has been received.</i> 	Capable of complying at CC stage	<p>Electric passenger lift</p> <p>The passenger lifts must have the following accessible features:</p> <ul style="list-style-type: none"> • Lift door opening to be a minimum 900mm wide; • Lift car dimensions not less than 1100mm x 1400mm if traveling less than 12 metres; • Lift car dimensions not less than 1400mm x 1600mm if traveling more than 12 metres; • Handrails complying with the provisions for a mandatory handrail in AS1735.12-1999; • Passenger protection system complying with AS1735.12-1999; • Lift landings with 1500mm diameter circulation space for a 90-degree turn; • Lift car and landing controls buttons must comply with AS1735.12-1999. Control buttons must have provision for tactile and braille; • Lighting in accordance with AS1735.12-1999. • Audible and visual indication systems as prescribed in AS1735.12-1999; and • Emergency hands-free communication device including a button that alerts a call centre of a problem and a light to signal that the call has been received. <p>CC documents will confirm passenger lift compliance with Table E3.6 of the BCA and</p>

BCA Clause		Status	Comment/Recommendation
	<p>Stairway platform lift</p> <p><i>There are limitations on use of this type of lift.</i></p> <p><i>The lift must not be used:</i></p> <ul style="list-style-type: none"> • <i>To serve a space in a space in a building accommodating more than 100 persons calculated according to D1.13;</i> • <i>Be used in a high traffic public use area such as a theatre, cinema, auditorium, transport interchange, shopping centre or the like;</i> • <i>Be used where it is possible to install another type of passenger lift;</i> • <i>To connect more than 2 storeys</i> • <i>Where more than 1 stairway lift is installed, serve more than 2 consecutive storey's;</i> • <i>When in the folded position encroach on the minimum width of a stairway required by D1.6.</i> <p><i>The accessible features required for this type of lift include:</i></p> <p>(i). <i>Lift floor dimension of not less than 810mm wide x 1200mm deep.</i></p>		<p>AS1735.12-1999.</p> <p>Stairway platform lift</p> <p>The stairway platform lift must have the following accessible features:</p> <ul style="list-style-type: none"> • Lift floor dimensions not less than 810mm wide x 1200mm deep; • Weatherproofing; • Load rated; • Head clearance 2000mm minimum above the centre of platform; • Folding seat with retractable rails or armrests; • Shut off device during an obstruction; • 75mm clearance from any handgrip or handrail; • Controls must be continuous pressure type; • Slip resistant standing surface; • Approach ramp when lowered (clear area); • Operating controls with out of sight landing controls; • Landing clearances for person to enter and exit lift (sufficient space for a 90 degree turn); • Wheelchair safety mechanism; and • Key operated switch controls. <p>It is noted that this type of lift must accommodate less than 100 building occupants calculated in accordance with D1.13 of the BCA.</p> <p>CC documents will confirm stairway platform lift compliance with Table E3.6b of the BCA and AS1735.7-1998.</p>

d. Part F2 – Sanitary and other facilities

BCA Clause		Status	Comment/Recommendation
F2.4	<p>Accessible sanitary facilities</p> <p>In a building required to be accessible:</p> <ul style="list-style-type: none"> (i). Accessible sanitary compartments must be provided in accessible parts of the building in accordance with Table F2.4 (a); and (ii). Accessible unisex showers must be provided in accordance with Table F2.4 (b); (iii). At each bank of toilets where there is one or more toilets in addition to an accessible unisex sanitary compartment at that bank of toilets, a sanitary compartment suitable for a person with an ambulant disability in accordance with AS1428.1 must be provided for use by males and females; and (iv). The circulation spaces, fixtures and fittings of all accessible sanitary facilities provided in accordance with Table F2.4 (a) and Table F2.4 (b) must comply with the requirements of AS1428.1; and (v). An accessible unisex sanitary facility must be located so that it can be entered without crossing an area reserved for one sex only; and (vi). Where two or more of each type of accessible unisex sanitary facility are provided, the number of left and right handed mirror image facilities must be provided as evenly as possible; and (vii). Where male sanitary facilities are provided at a separate location to female sanitary facilities, accessible unisex sanitary facilities are only required at one of those locations; and (viii). An accessible unisex sanitary compartment or an accessible unisex shower need not be provided on a storey or level that is not required by D3.3 (vi) to be provided with a passenger lift or ramp complying with AS1428.1. 	Not Applicable	<p>There are no communal use sanitary facilities within the Class 2 areas of this development.</p> <p>Consideration should be given to providing an ambulant WC within the basement car parking areas.</p>

BCA Clause		Status	Comment/Recommendation
	<p>Class 2</p> <p><i>Table F2.4 (a)</i></p> <p><i>Where sanitary compartments are provided in common areas, not less than 1 is required.</i></p> <p><i>Table F2.4 (b)</i></p> <p><i>Where showers are provided in common areas, not less than 1 is required.</i></p> <p>Class 7a</p> <p><i>Table F2.4 (a)</i></p> <p><i>Where a closet pan is required, one on every storey containing sanitary compartments and where a storey has more than one bank of sanitary compartments containing male and female compartments, at not less than 50% of those banks.</i></p> <p><i>Table F2.4 (b)</i></p> <p><i>Where 1 or more shower is required, not less than 1 for every 10 showers or part thereof.</i></p>		

4. DESIGN FOR ACCESS AND MOBILITY ASSESSMENT

a. General

The following general assessment summarises the compliance status of the design documentation with reference to AS1428.1-2009.

To parts that do not comply or design detail is not provided, a comment or recommendation is provided to achieve compliance.

The compliance assessment outcomes are classified into the following categories:

Key	
Noted	The subject clause is for guidance or for information only.
Capable of complying at CC stage	The design has shown general compliance with the subject clause. Further details are required during the construction certificate stage to achieve full compliance.
Design information required at CC stage	The design does not show sufficient details to achieve compliance with the subject clause. Further details are required during the construction certificate stage to achieve full compliance.
Does not comply	The design has not achieved compliance with the subject clause.
Not applicable	The subject clause is not applicable to the proposed design.

b. AS1428.1 – Part 1 General requirements of access – New building work

Item		Status	Comment/Recommendation
1	Continuous accessible path of travel	Capable of complying at CC stage	<p>A continuous accessible path of travel must be a minimum 1000mm wide x 2000mm high (except where a turning or passing space is required).</p> <p>Permanent fixtures must not impose within the continuous accessible path of travel (accessway) or any turning spaces e.g. fire hose reel.</p> <p>The continuous accessible path of travel must be free of any steps and traversable by a wheelchair user.</p>
2	Floor surfaces on continuous accessible path of travel and circulation spaces	Capable of complying at CC stage	<p>All floor surfaces e.g. tiling, timber and concrete flooring must be slip resistant and must have a slip resisting rating in accordance with the BCA 2014.</p> <p>A smooth transition must be provided between abutting</p>

Item		Status	Comment/Recommendation
			<p>surfaces e.g. tiling, timber flooring and carpet.</p> <p>A construction tolerance of up to 5mm is acceptable using a rounded or beveled edge.</p> <p>A recessed mat must be provided in accordance with AS1428.1-2009. Recessed mats must be traversable a wheelchair user and must not create trip hazards.</p>
3	Doorways and doors	Capable of complying at CC stage	<p>All doors (including gates) required to be accessible will have 850mm clear width and 1980mm clear height.</p> <p>Internal and external door circulation space must be provided in accordance with AS1428.1-2009, except for where an automatic door system is provided (hinge and latch side clearances are not required).</p> <p>An outward opening door must have provision for a self-closing mechanism.</p> <p>D-lever type doors handles with sufficient grasping clearances must be provided at 900-1100mm from the ground surface.</p> <p>Doors must not exceed 20N of operating force.</p> <p>Doors and door frames (combined) must have a 30% luminance contrast to surrounding surfaces.</p>
4	Switches and controls	Capable of complying at CC stage	<p>All new light switches, intercoms and controls (other than power outlets) must be provided 900-1100mm from the ground and 500mm from wall corners.</p>

5. ADAPTABLE HOUSING ASSESSMENT

a. General

The following assessment summarises the compliance status of the design documentation with reference to AS4299-1995 *Class C Schedule of Adaptable Features*.

To parts that do not comply or design detail is not provided, a comment or recommendation is provided to achieve compliance.

The compliance assessment outcomes are classified into the following categories:

Key	
Noted	The subject clause is for guidance or for information only.
Capable of complying at CC stage	The design has shown general compliance with the subject clause. Further details are required during the construction certificate stage to achieve full compliance.
Design information required at CC stage	The design does not show sufficient details to achieve compliance with the subject clause. Further details are required during the construction certificate stage to achieve full compliance.
Does not comply	The design has not achieved compliance with the subject clause.
Not applicable	The subject clause is not applicable to the proposed design.

b. Schedule of Adaptable Features

Item		Status	Comment/Recommendation
1	Pre and Post Adaptation of Adaptable Dwellings		
	To obtain certification as an adaptable dwelling 'as built' drawings showing the dwelling in pre-adaptation and post-adaptation stages must be provided.	Capable of complying at CC stage	The pre and post adaptation plans must show compliance with AS4299-1995 Class C Schedule of Adaptable Features.
2	Site		
	A continuous accessible path of travel from the street, letterboxes, car parking, and common areas is provided to the building entry.	Capable of complying at CC stage	A continuous accessible path of travel (without steps or stairs) must be provided from the pedestrian allotment entrance, letterbox area, car parking and any common areas within this development. The continuous accessible path of travel must be traversable by a wheelchair

Item		Status	Comment/Recommendation
			user. The continuous accessible path of travel must have gradients, turning and passing spaces suitable for a person with a disability and must comply with AS1428.1-2009.
3	Letterboxes		
	Letterboxes are to be provided to a hard standing area connected to the accessible pathway.	Capable of complying at CC stage	Letterboxes must be shown in an accessible location covered from the weather. Letterboxes must not intrude within the continuous accessible path of travel.
4	Car Parking		
	A car parking space or garage minimum area of 6m x 3.8m	Capable of complying at CC stage	The accessible car parking space for each adaptable dwelling must be provided in accordance with AS2890.6-2009.
5	Accessible entry to adaptable dwelling		
	Accessible entry.	Capable of complying at CC stage	The entrance door to the adaptable sole occupancy unit must be accessible by a person with a disability. Internal and external door circulation space must be provided complying with AS1428.1-2009.
	Accessible entry to be level (maximum 1 in 40 slope).	Capable of complying at CC stage	The entry to the adaptable unit must be level without any slopes.
	Threshold to be low-level.	Capable of complying at CC stage	The entry to the adaptable sole occupancy must be level without any steps.
	Landing to enable wheelchair maneuverability.	Capable of complying at CC stage	
	Accessible entry door to have 850mm	Capable of	The entrance door to the

Item		Status	Comment/Recommendation
	minimum clearance.	complying at CC stage	adaptable sole occupancy unit must have a 850mm clear opening width when measured from the face of the opened door to the doorstep.
	Door lever handles and hardware to AS1428.1.	Capable of complying at CC stage	The entrance door must have provision for D-lever type handles in accordance with AS1428.1-2009. The door schedule must be provided at CC stage for assessment.
6	Interior: General		
	Internal doors to have 820mm minimum clearance.	Capable of complying at CC stage	The internal doors must have a 820mm (preferred 850mm) clear wide opening when measured from the face of the opened door to the doorstep.
	Internal corridors must be 1000mm wide.	Capable of complying at CC stage	The internal corridors must have a 1000mm clear width except where turning space or door circulation space is required complying with AS1428.1-2009.
	Provision for compliance with AS1428.1 for door approaches.	Capable of complying at CC stage	Door circulation space must be provided to the entrance door of rooms that are required to be accessible (i.e. accessible sanitary facility, laundry, balcony, main entrance door and accessible bedroom etc.).
7	Living Room & Dinning Room		
	Provision for circulation space of minimum 2250mm diameter.	Capable of complying at CC stage	A 2250mm diameter clear circulation space must be provided between the living and dinning areas.
	Provide a minimum of 4 GPO's.	Design information required at CC stage	
	Telephone line adjacent to GPO's.	Design information required at CC stage	

Item		Status	Comment/Recommendation
	TV antenna outlet adjacent to GPO's	Design information required at CC stage	
	Lighting that can achieve a minimum 300 lux level.	Design information required at CC stage	
8	Kitchen		
	Minimum width 2700mm (1550mm clear between benches)	Capable of complying at CC stage	A minimum 1550mm clear width must be provided between adjacent kitchen benches or islands.
	Provision for circulation at doors to comply with AS1428.1.	Not applicable	
	Provision for benches planned to include at least one work surface of 800mm length, adjustable in height from 750 to 850mm or replaceable.	Design information required at CC stage	The kitchen must have provision for a 800mm wide bench with adjustable legs and separate from other benches.
	Refrigerator adjacent to work surface.	Design information required at CC stage	
	Kitchen sink adjustable to heights from 750mm to 850mm or replaceable.	Design information required at CC stage	
	Kitchen sink 150mm deep.	Design information required at CC stage	
	Tap set capstan or lever handles or lever mixer	Design information required at CC stage	
	Tap set within 300mm from front of sink.	Design information required at CC stage	
	Cooktop to include either front or side controls with raised cross bars.	Design information required at	

Item		Status	Comment/Recommendation
		CC stage	
	Cooktop to include isolation switch.	Design information required at CC stage	
	Work surface adjacent to cooktop minimum 800mm length and at same height.	Design information required at CC stage	
	Oven located to an adjustable height or replaceable work surface.	Design information required at CC stage	
	GPOs to comply with AS1428.1. At least one double GPO within 300mm of front of work surface.	Design information required at CC stage	The double GPO provided for the kitchen area must be at the same height as the bench.
	GPO to refrigerator to be easily reachable when the refrigerator is in its operation position.	Design information required at CC stage	
	Floor within kitchen area to be slip resistant	Design information required at CC stage	Flooring must have a slip resistant rating.
9	Main Bedroom		
	At least one bedroom of area to accommodate a queen size bed and wardrobe and circulation space requirements of AS1428.2.	Capable of complying at CC stage	Provision for a queen size bed (1530mm wide x 2030mm length) with 1000mm clear width on all sides of the bed and 1550mm clear width in front of a wardrobe.
	Two double GPO's on wall where bedhead will be located.	Design information required at CC stage	
	Minimum of one GPO on opposite wall adjacent to TV antenna point.	Design information required at CC stage	
	Telephone outlet next to bed on the side closest to door (with GPO adjacent to	Design information	

Item		Status	Comment/Recommendation
	telephone outlet).	required at CC stage	
	2 way switches, one located above bed 1000mm high above floor and another at next to the door.	Design information required at CC stage	
	Lighting that can achieve a minimum 300 lux level.	Design information required at CC stage	
10	Bathroom & Toilet		
	Provision for the bathroom area to be converted to an accessible sanitary facility in accordance with AS1428.1.	Capable of complying at CC stage	The adaptable dwelling must have a bathroom and toilet that can be converted into an accessible sanitary facility complying with AS1428.1-2009. Where capped services are required, this must be indicated on the pre and post adaptable plans.
	Slip resistant floor surface.	Design information required at CC stage	Flooring must have a slip resistant rating.
	No hobs within shower recess area and a minimum size of 1160mm x 1100mm to comply with AS1428.1.	Design information required at CC stage	For ease of plumbing, plumbing work for the shower inlets and outlets to be installed at correct distance from walls as shown in AS1428.1-2009.
	Shower area waterproofed to AS3740 with floor falling to floor waste outlet.	Design information required at CC stage	
	Recessed soap holder or shelf for soap.	Design information required at CC stage	A soap shelf is preferred within the shower area, 900mm high from ground.
	Shower taps positioned for easy reach to access side of shower sliding track.	Design information required at CC stage	
	Provision for adjustable, detachable hand	Design	

Item		Status	Comment/Recommendation
	held shower rose mounted on a slider grabrail or fixed hook (plumbing and wall strengthening required).	information required at CC stage	
	Provision for grabrail in shower to comply with AS1428.1	Design information required at CC stage	Ensure all walls that require a grabrail at post adaptation are strengthened with 12mm structural plywood if timber stud frame walls used.
	Tap sets to be capstan or lever handles with single outlet.	Design information required at CC stage	
	Provision for washbasin with clearances complying with AS1428.1.	Design information required at CC stage	A washbasin with circulation space complying with AS1428.1-2009 must be provided.
	Double GPO beside mirror.	Design information required at CC stage	
11	Toilet		
	Provision of either a 'visitable toilet' or accessible toilet.	Capable of complying at CC stage	Provision for an accessible toilet.
	Provision to comply with AS1428.1.	Capable of complying at CC stage	Provision for an accessible toilet complying with AS1428.1-2009. Where capped services are required, this must be indicated on the pre and post adaptable plans.
	Location of WC pan at correct distance from fixed walls.	Design information required at CC stage	For ease of plumbing, plumbing work for the WC to be installed at correct distance from walls as shown in AS1428.1-2009.
	Provision for a grab rail zone.	Design information required at CC stage	Ensure all walls that require a grabrail at post adaptation are strengthened with 12mm structural plywood if timber stud frame walls are used.
	Slip resistant floor surface.	Design information	Flooring must have a slip resistant rating.

Item		Status	Comment/Recommendation
		required at CC stage	
12	Laundry		
	Circulation at doors to comply with AS1428.1.	Capable of complying at CC stage	Doors must have D-lever type handles complying with AS1428.1-2009.
	Provision for adequate circulation space in front of or beside appliances (minimum 1550mm depth).	Capable of complying at CC stage	Clear circulation space of 1550mm diameter must be provided in front of the laundry cabinet door or within a laundry room.
	Provision for automatic washing machine.	Design information required at CC stage	
	Provision for drier.	Design information required at CC stage	
	Where a clothesline is provided, a continuous accessible path of travel must be provided to this.	Not applicable	
	Double GPO.	Design information required at CC stage	
	Slip resistant floor surface	Design information required at CC stage	Flooring must have a slip resistant rating if tiled.
13	Door Hardware		
	Door hardware operable with one hand, D-lever type and located 900-1100mm above the floor.	Design information required at CC stage	Doors must have D-lever type handles provided 900-1100mm high from the ground. Door schedule to be provided for assessment at CC stage.
14	Ancillary Items		
	Switches located 900-1100mm above the floor in line with door handles.	Design information required at	

Item		Status	Comment/Recommendation
		CC stage	
	GPO's located not less than 600mm above floor unless otherwise noted	Design information required at CC stage	

6. STATEMENT OF COMPLIANCE (DA DESIGN)

Ergon Consulting has completed a review of the provided design documentation with reference to the minimum requirements of part D3, clause E3.6 and clause F2.4 of the Building Code of Australia 2014 and relevant Australian Standards as applicable to this project (i.e. AS1428.1-2009, AS2890.6-2009 and AS4299-1995).

This statement confirms accessibility can be appropriately achieved within this development with the provided recommendations. This report confirms the client's commitment to providing an equitable and accessible environment for all.

As such, we believe the development approval may be issued without any concern that the development cannot achieve a reasonable level of access and meet statutory requirements, subject to further assessment during the construction documentation stage.

We trust this statement of compliance is satisfactory. Should you have any questions, please do not hesitate to contact the undersigned.

Yours faithfully,



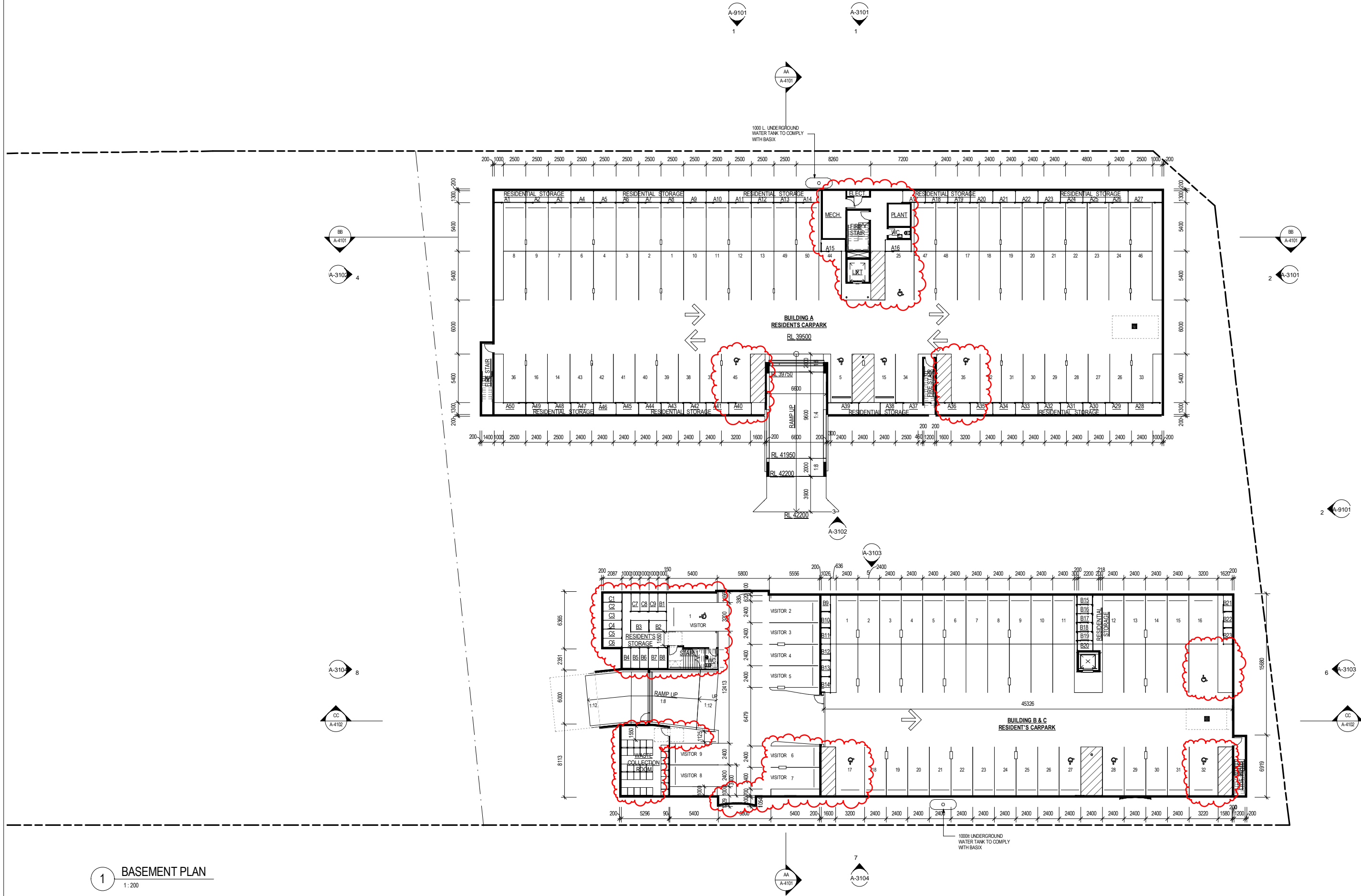
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APPENDIX 1



1 BASEMENT PLAN
1:200

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Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
26/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
26/09/2014	ISSUED FOR DA	F

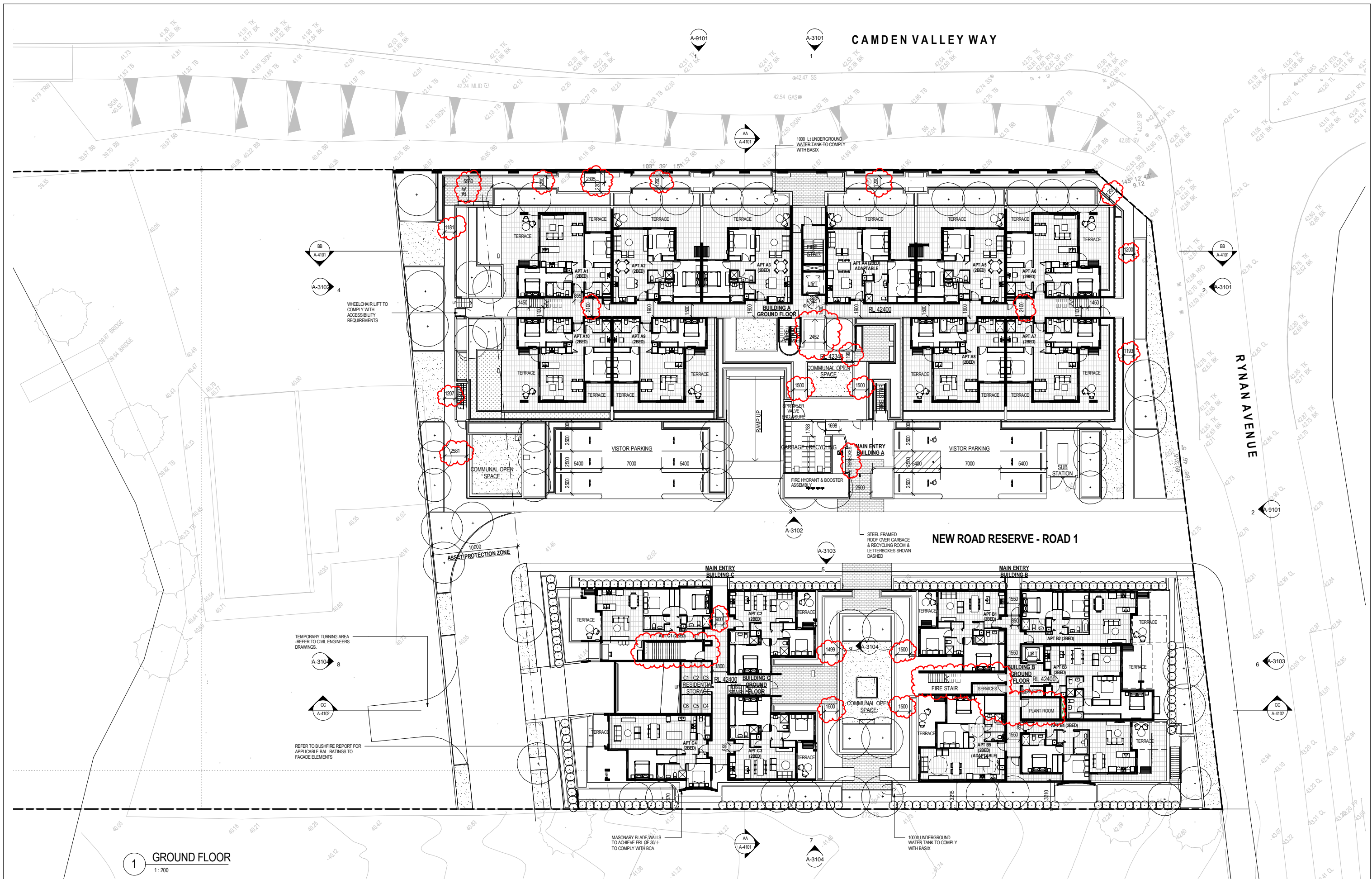


5 RYMAN AVENUE
EDMONDSON PARK, NSW
RESIDENTIAL DEVELOPMENT - DEVELOPMENT APPLICATION

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PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYMAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
BASEMENT FLOOR PLAN

CHK'D
JF
DRAWN
K.A.
PROJECT No.
13-23665
DATE PLOTTED
22/07/2014
SCALE @A1
1:200
DOUBLE FOR A3
DRAWING No. / Rev.
A-2101 F



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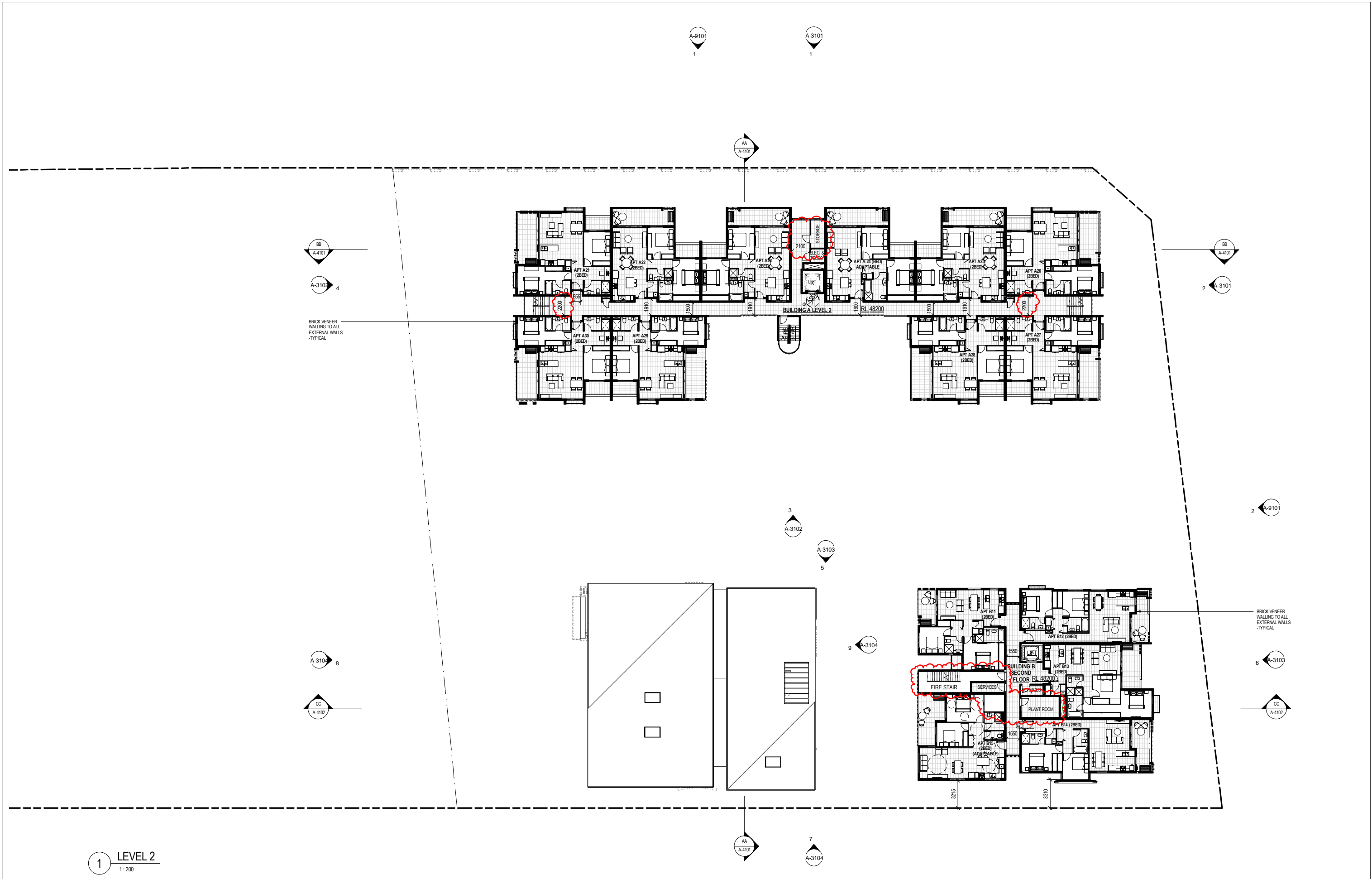


**5 RYMAN AVENUE
EDMONDSON PARK, NSW**
RESIDENTIAL DEVELOPMENT - DEVELOPMENT APPLICATION

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PROPOSED RESIDENTIAL
DEVELOPMENT AT 5 RYMAN AVENUE,
EDMONDSON PARK
DRAWING TITLE
GROUND FLOOR PLAN

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JF
DATE PLOTTED
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DRAWING No. / Rev.
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PROJECT No.
13-23665
SCALE @A1
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DOUBLE FOR A3



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LEVEL 2

1:200

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Date	Description	No.
4/07/14	PRELIMINARY ISSUE	A
11/07/2014	PRELIMINARY ISSUE	B
16/07/2014	PRELIMINARY ISSUE	C
22/07/2014	PRELIMINARY ISSUE	D
26/07/2014	GENERAL REVISION FOR ACCESS, BCA & BASIX COMPLIANCE	E
26/09/2014	ISSUED FOR DA	F

TRUE NORTH

5 RYMAN AVENUE

EDMONDSON PARK, NSW

RESIDENTIAL DEVELOPMENT -DEVELOPMENT APPLICATION

CLIENT

KMT CONSTRUCTIONS Pty Ltd

ARCHITECT

JOSHUA FARKASH & ASSOCIATES PTY. LTD.

ABN 19 000 645 095 A.C.N. 950 645 095

432 KENT STREET

SYDNEY NSW 2000

TEL: (02) 9264 5155

FAX: (02) 9264 5166

EMAIL: architects@jfarkeast.com.au

PROJECT

PROPOSED RESIDENTIAL DEVELOPMENT AT 5 RYMAN AVENUE, EDMONDSON PARK

CH'D

JF

DRAWN

KA

PROJECT No.

13-23665

DATE PLOTTED

22/07/2014

SCALE @A1

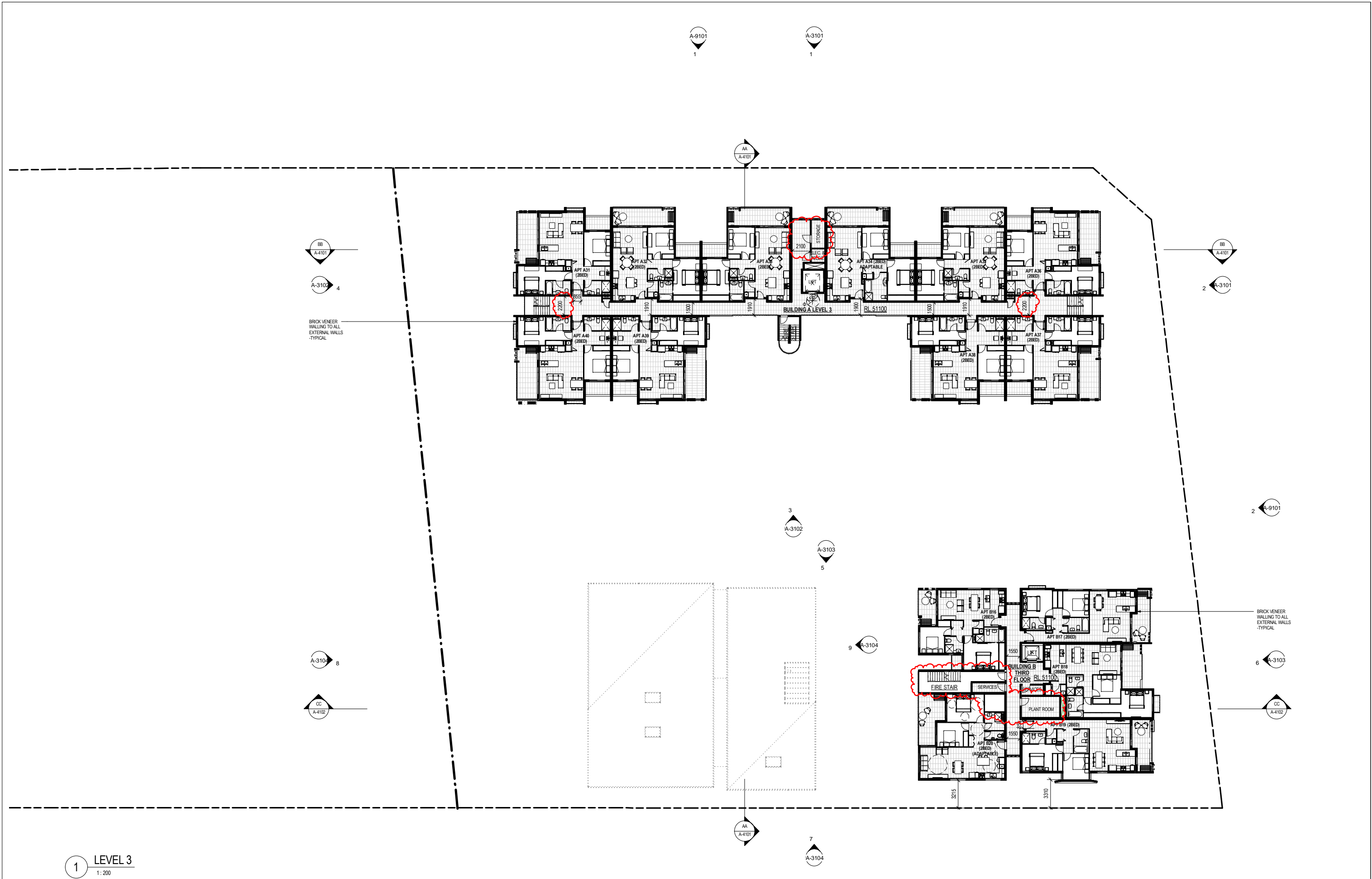
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DOUBLE FOR A3

DRAWING No. / Rev.

A-2104 F

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LEVEL 3

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26/09/2014	ISSUED FOR DA	F

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TRUE NORTH

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5 RYMAN AVENUE

EDMONDSON PARK, NSW

RESIDENTIAL DEVELOPMENT -DEVELOPMENT APPLICATION

CLIENT

KMT CONSTRUCTIONS Pty Ltd

ARCHITECT

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EMAIL: architects@jarkash.com.au

PROJECT

PROPOSED RESIDENTIAL DEVELOPMENT AT 5 RYMAN AVENUE, EDMONDSON PARK

DRAWING TITLE

LEVEL 3 FLOOR PLAN

CH'D

JF

DRAWN

KA

PROJECT No.

13-23665

DATE PLOTTED

22/07/2014

SCALE @A1

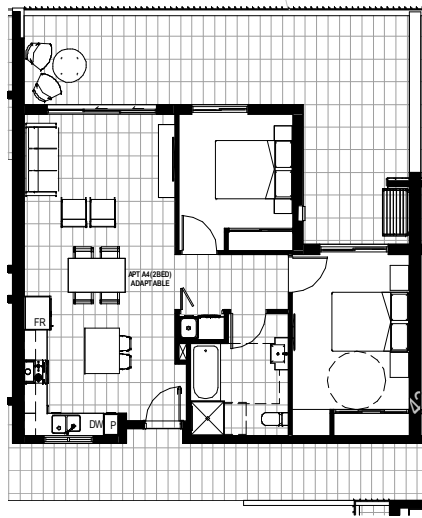
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DOUBLE FOR A3

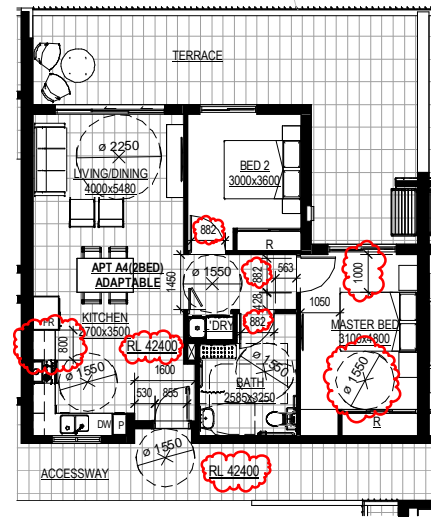
DRAWING No. / Rev.

A-2105 F

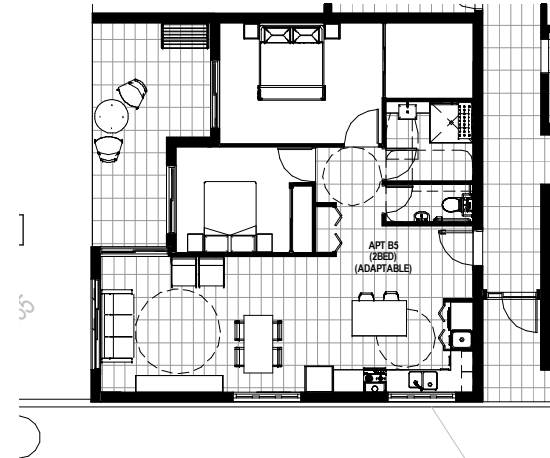
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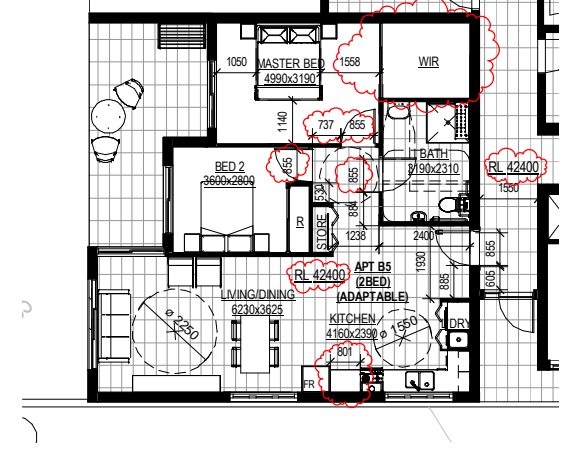
1 PRE ADAPTION - BUILDING A - TYPICAL
1:100



2 POST ADAPTION - BUILDING A - TYPICAL
1:100
UNITS - A4, A14, A24, A34, A44



3 PRE ADAPTATION - BUILDING B - TYPICAL
1:100



4 POST ADAPTATION - BUILDING B - TYPICAL
1:100
UNITS - B5, B10, B15, B20

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5 RYNAN AVENUE
EDMONDSON PARK, NSW
RESIDENTIAL DEVELOPMENT - DEVELOPMENT APPLICATION

CLIENT KMT CONSTRUCTIONS Pty Ltd	PROJECT PROPOSED RESIDENTIAL DEVELOPMENT AT 5 RYNAN AVENUE, EDMONDSON PARK	CHK'D JF	DRAWN KA	PROJECT No. 13-23665
ARCHITECT JOSHUA FARKASH & ASSOCIATES PTY. LTD. 432 KENT STREET SYDNEY NSW 2000	DATE PLOTTED 22/07/2014	SCALE @A1 1:100 DOUBLE FOR A3	DRAWING No. / Rev.	A-6102 F
ADAPTATION JOSHUA FARKASH & ASSOCIATES PTY. LTD. 432 KENT STREET SYDNEY NSW 2000	TEL: (02) 9264 5155 FAX: (02) 9264 5166 EMAIL: architects@jarkash.com.au	DRAWING TITLE ADAPTABLE HOUSING BUILDINGS A&B		